

North Vancouver

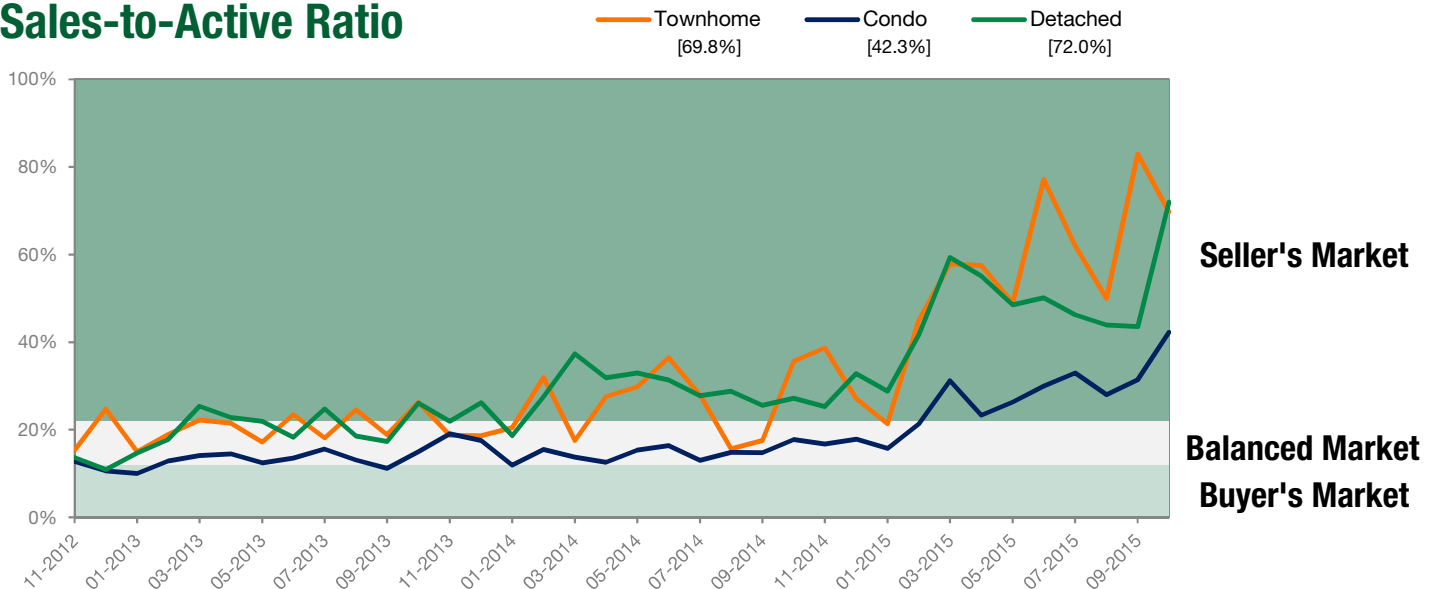
October 2015

Detached Properties	October			September		
	2015	2014	One-Year Change	2015	2014	One-Year Change
Activity Snapshot						
Total Active Listings	182	338	- 46.2%	248	367	- 32.4%
Sales	131	92	+ 42.4%	108	94	+ 14.9%
Days on Market Average	27	43	- 37.2%	21	32	- 34.4%
MLS® HPI Benchmark Price	\$1,231,200	\$1,042,100	+ 18.1%	\$1,212,400	\$1,029,600	+ 17.8%

Condos	October			September		
	2015	2014	One-Year Change	2015	2014	One-Year Change
Activity Snapshot						
Total Active Listings	291	490	- 40.6%	353	535	- 34.0%
Sales	123	87	+ 41.4%	111	79	+ 40.5%
Days on Market Average	34	52	- 34.6%	42	53	- 20.8%
MLS® HPI Benchmark Price	\$381,600	\$352,100	+ 8.4%	\$373,300	\$351,900	+ 6.1%

Townhomes	October			September		
	2015	2014	One-Year Change	2015	2014	One-Year Change
Activity Snapshot						
Total Active Listings	43	101	- 57.4%	41	114	- 64.0%
Sales	30	36	- 16.7%	34	20	+ 70.0%
Days on Market Average	23	39	- 41.0%	30	37	- 18.9%
MLS® HPI Benchmark Price	\$670,200	\$610,800	+ 9.7%	\$659,700	\$610,800	+ 8.0%

Sales-to-Active Ratio

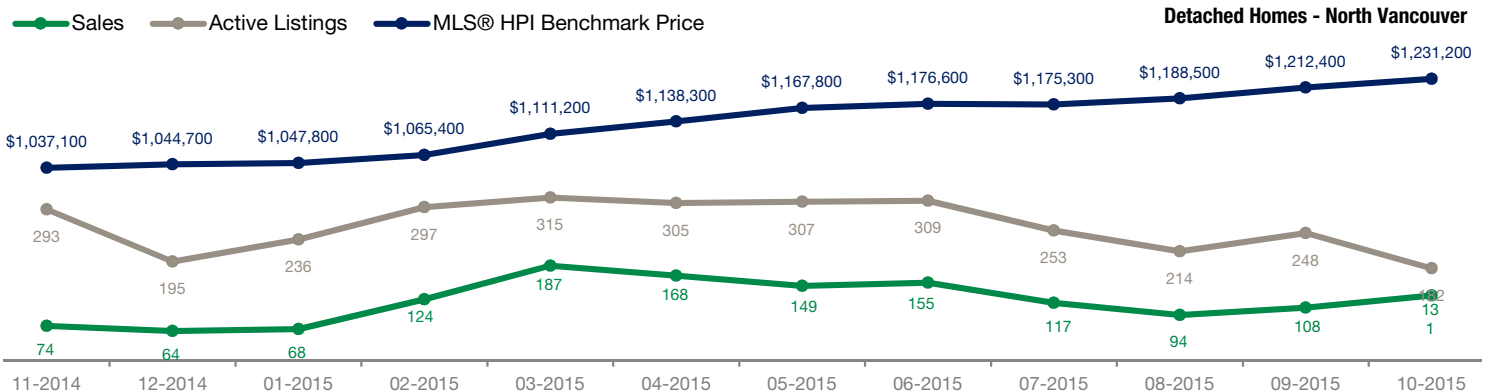


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Detached Properties Report – October 2015

Price Range	Sales	Active Listings	Avg Days on Market	Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
\$99,999 and Below	0	0	0	Blueridge NV	4	2	\$1,209,300	+ 19.4%
\$100,000 to \$199,999	1	1	378	Boulevard	6	9	\$1,280,500	+ 21.1%
\$200,000 to \$399,999	0	2	0	Braemar	1	6	\$1,635,400	+ 2.6%
\$400,000 to \$899,999	2	8	73	Calverhall	1	7	\$1,098,100	+ 20.1%
\$900,000 to \$1,499,999	67	66	17	Canyon Heights NV	11	19	\$1,476,700	+ 16.0%
\$1,500,000 to \$1,999,999	40	46	26	Capilano NV	3	3	\$1,345,900	+ 20.8%
\$2,000,000 to \$2,999,999	17	40	45	Central Lonsdale	6	9	\$1,049,600	+ 20.0%
\$3,000,000 and \$3,999,999	4	16	29	Deep Cove	5	5	\$1,185,300	+ 17.0%
\$4,000,000 to \$4,999,999	0	1	0	Delbrook	2	3	\$1,386,900	+ 16.0%
\$5,000,000 and Above	0	2	0	Dollarton	5	7	\$1,348,200	+ 22.2%
TOTAL	131	182	27	Edgemont	8	11	\$1,619,600	+ 18.3%
				Forest Hills NV	4	9	\$1,516,100	+ 17.9%
				Grouse Woods	1	1	\$1,298,600	+ 8.5%
				Hamilton	5	5	\$1,005,300	+ 18.4%
				Hamilton Heights	0	0	\$0	--
				Indian Arm	2	4	\$0	--
				Indian River	1	2	\$1,149,600	+ 16.7%
				Lower Lonsdale	2	9	\$1,042,600	+ 18.7%
				Lynn Valley	18	9	\$1,108,500	+ 16.4%
				Lynnmour	0	8	\$915,200	+ 17.5%
				Norgate	1	0	\$986,500	+ 24.8%
				Northlands	2	1	\$1,703,000	+ 18.1%
				Pemberton Heights	4	4	\$1,312,000	+ 17.7%
				Pemberton NV	1	3	\$907,100	+ 19.5%
				Princess Park	3	2	\$1,200,000	+ 18.2%
				Queensbury	2	1	\$1,072,900	+ 14.0%
				Roche Point	1	0	\$1,080,300	+ 12.9%
				Seymour NV	0	0	\$0	--
				Tempe	0	1	\$1,299,100	+ 8.1%
				Upper Delbrook	7	11	\$1,521,400	+ 18.6%
				Upper Lonsdale	14	21	\$1,212,900	+ 19.6%
				Westlynn	6	1	\$1,057,200	+ 21.1%
				Westlynn Terrace	0	1	\$1,153,500	+ 19.4%
				Windsor Park NV	2	1	\$1,088,800	+ 22.1%
				Woodlands-Sunshine-Cascade	0	4	\$0	--
				Total*	131	182	\$1,231,200	+ 18.1%

* This represents the total of the North Vancouver area, not the sum of the areas above.



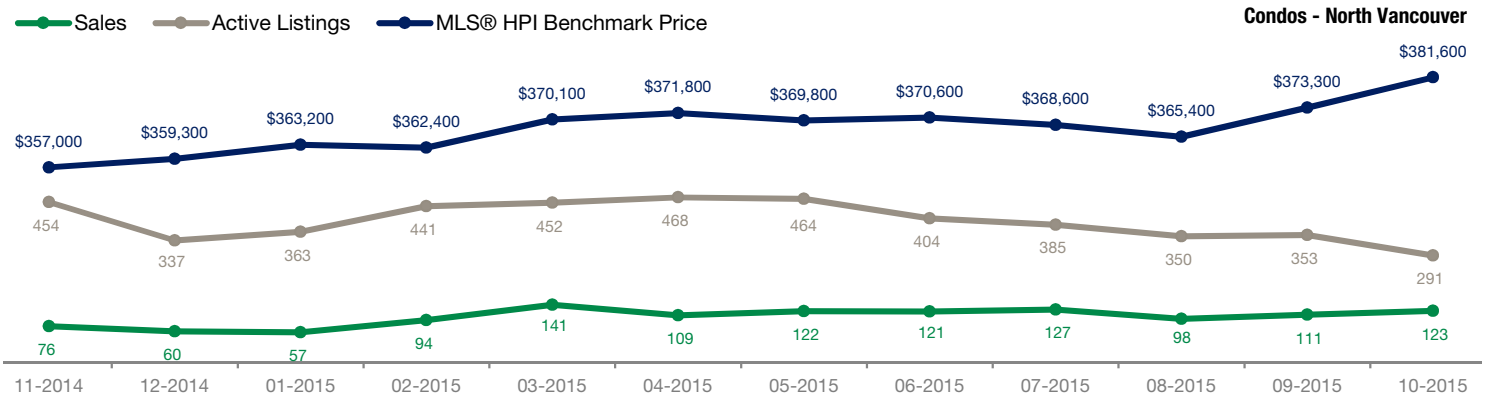
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Condo Report – October 2015

Price Range	Sales	Active Listings	Avg Days on Market
\$99,999 and Below	0	0	0
\$100,000 to \$199,999	2	3	30
\$200,000 to \$399,999	60	135	41
\$400,000 to \$899,999	58	137	27
\$900,000 to \$1,499,999	3	10	26
\$1,500,000 to \$1,999,999	0	3	0
\$2,000,000 to \$2,999,999	0	3	0
\$3,000,000 and \$3,999,999	0	0	0
\$4,000,000 to \$4,999,999	0	0	0
\$5,000,000 and Above	0	0	0
Total	123	291	34

Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
Blueridge NV	0	2	\$0	--
Boulevard	0	0	\$0	--
Braemar	0	0	\$0	--
Calverhall	0	0	\$0	--
Canyon Heights NV	0	0	\$0	--
Capilano NV	0	1	\$0	--
Central Lonsdale	26	79	\$425,400	+ 10.9%
Deep Cove	0	1	\$0	--
Delbrook	1	2	\$0	--
Dollarton	4	3	\$0	--
Edgemont	0	2	\$0	--
Forest Hills NV	0	0	\$0	--
Grouse Woods	0	0	\$0	--
Hamilton	1	6	\$411,000	+ 17.5%
Hamilton Heights	0	0	\$0	--
Indian Arm	0	0	\$0	--
Indian River	1	5	\$0	--
Lower Lonsdale	53	104	\$357,700	+ 4.5%
Lynn Valley	5	15	\$418,100	+ 5.5%
Lynnmour	5	19	\$366,900	+ 13.9%
Norgate	1	6	\$423,600	+ 14.9%
Northlands	3	2	\$523,700	+ 2.8%
Pemberton Heights	2	0	\$0	--
Pemberton NV	10	25	\$311,000	+ 17.3%
Princess Park	0	0	\$0	--
Queensbury	0	0	\$0	--
Roche Point	5	15	\$380,400	+ 4.2%
Seymour NV	0	0	\$0	--
Tempe	0	0	\$0	--
Upper Delbrook	0	0	\$0	--
Upper Lonsdale	4	4	\$402,600	+ 15.9%
Westlynn	1	0	\$0	--
Westlynn Terrace	0	0	\$0	--
Windsor Park NV	0	0	\$0	--
Woodlands-Sunshine-Cascade	0	0	\$0	--
Total*	123	291	\$381,600	+ 8.4%

* This represents the total of the North Vancouver area, not the sum of the areas above.

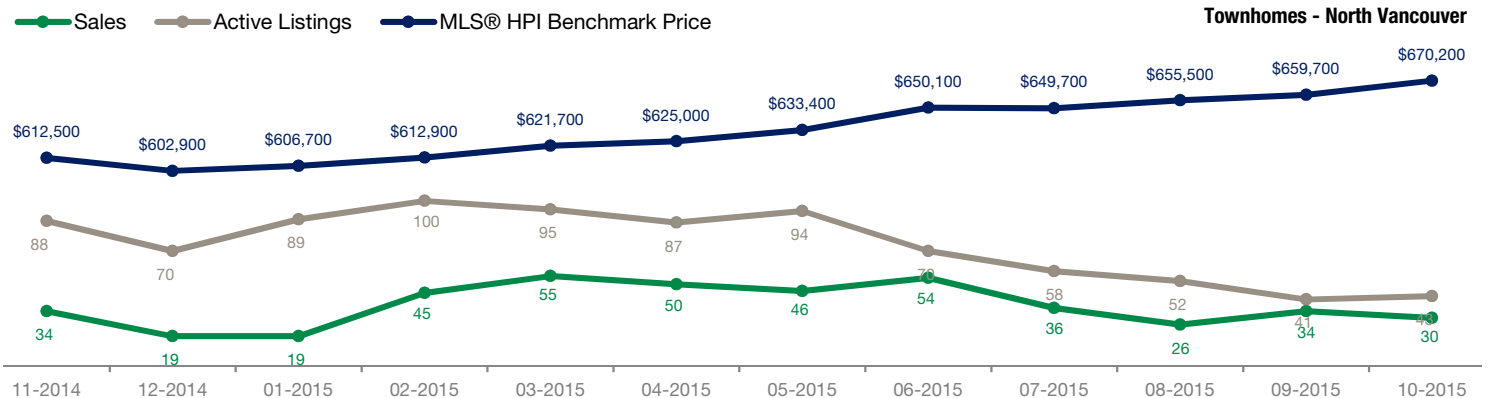


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Townhomes Report – October 2015

Price Range	Sales	Active Listings	Days on Market	Neighbourhood	Sales	Active Listings	Benchmark Price	One-Year Change
\$99,999 and Below	0	0	0	Blueridge NV	0	0	\$0	--
\$100,000 to \$199,999	0	0	0	Boulevard	0	0	\$0	--
\$200,000 to \$399,999	2	4	13	Braemar	0	0	\$0	--
\$400,000 to \$899,999	24	30	25	Calverhall	0	0	\$0	--
\$900,000 to \$1,499,999	4	7	15	Canyon Heights NV	0	0	\$0	--
\$1,500,000 to \$1,999,999	0	1	0	Capilano NV	0	1	\$0	--
\$2,000,000 to \$2,999,999	0	1	0	Central Lonsdale	5	17	\$694,300	+ 9.7%
\$3,000,000 and \$3,999,999	0	0	0	Deep Cove	0	0	\$0	--
\$4,000,000 to \$4,999,999	0	0	0	Delbrook	0	0	\$0	--
\$5,000,000 and Above	0	0	0	Dollarton	0	2	\$0	--
TOTAL	30	43	23	Edgemont	0	0	\$0	--
				Forest Hills NV	0	0	\$0	--
				Grouse Woods	0	0	\$0	--
				Hamilton	6	1	\$606,300	+ 12.5%
				Hamilton Heights	0	0	\$0	--
				Indian Arm	0	0	\$0	--
				Indian River	4	0	\$774,700	+ 9.9%
				Lower Lonsdale	3	1	\$717,500	+ 12.1%
				Lynn Valley	3	3	\$640,400	+ 8.0%
				Lynnmour	3	3	\$548,500	+ 7.5%
				Norgate	0	1	\$698,000	+ 12.6%
				Northlands	4	4	\$817,300	+ 7.5%
				Pemberton Heights	1	1	\$0	--
				Pemberton NV	0	0	\$0	--
				Princess Park	0	0	\$0	--
				Queensbury	0	0	\$0	--
				Roche Point	1	1	\$700,900	+ 7.9%
				Seymour NV	0	0	\$0	--
				Tempe	0	0	\$0	--
				Upper Delbrook	0	0	\$0	--
				Upper Lonsdale	0	0	\$0	--
				Westlynn	0	1	\$583,500	+ 10.1%
				Westlynn Terrace	0	0	\$0	--
				Windsor Park NV	0	0	\$0	--
				Woodlands-Sunshine-Cascade	0	0	\$0	--
				Total*	30	43	\$670,200	+ 9.7%

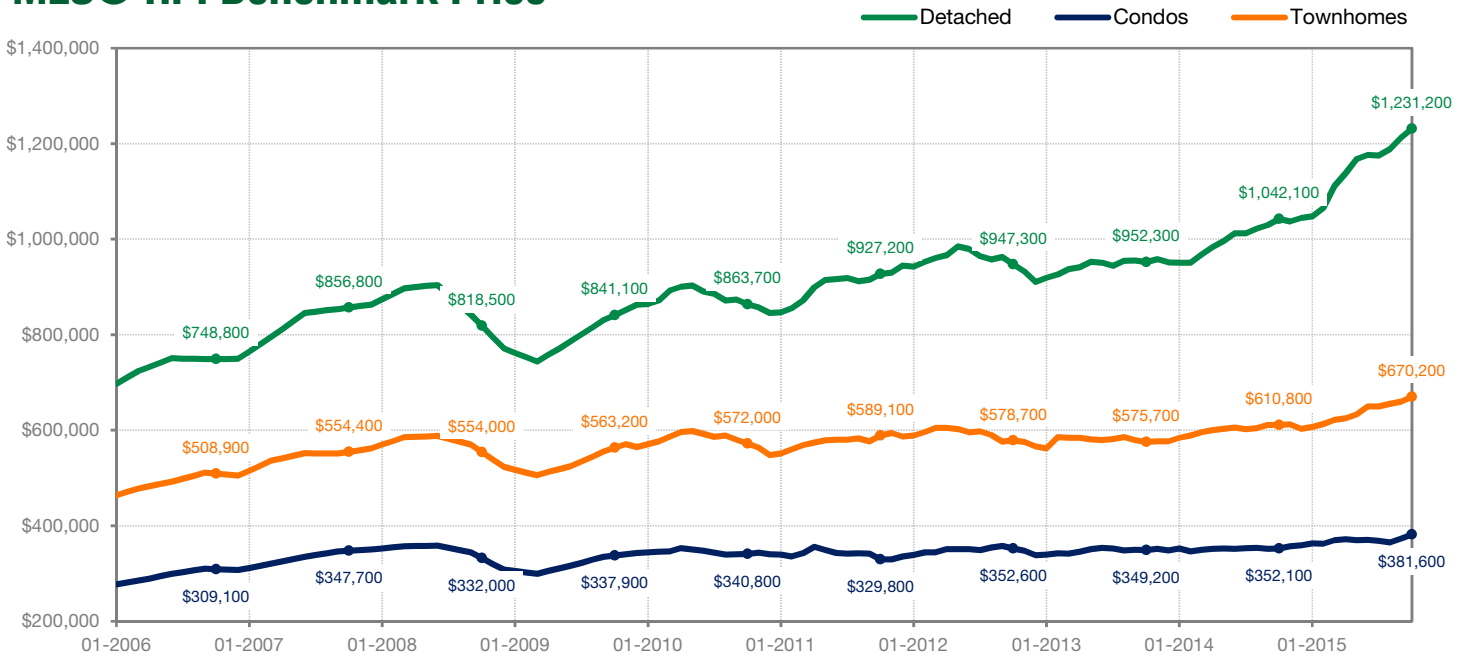
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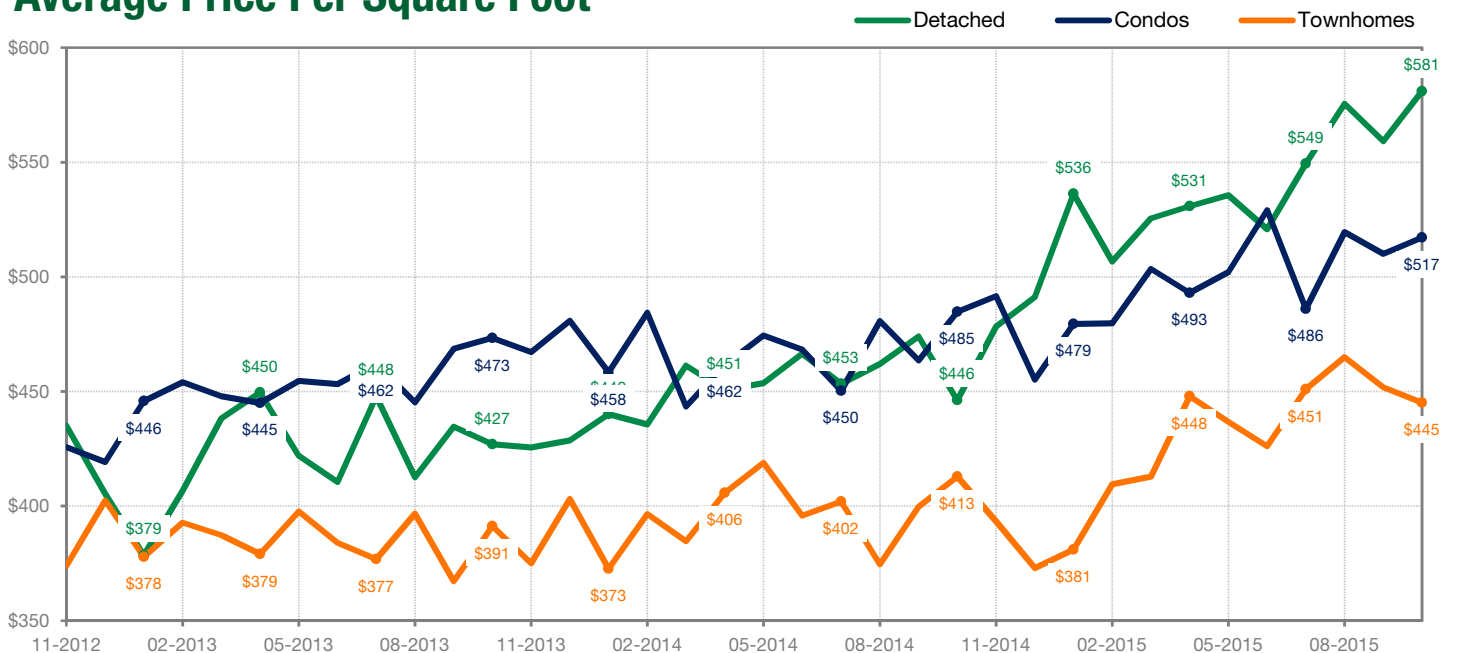
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MLS® HPI Benchmark Price



Note: \$0 means that there is no sales activity, not \$0 as an MLS® HPI Benchmark Price.

Average Price Per Square Foot



Note: \$0 means that there is no sales activity, not \$0 as an Average Price Per Square Foot.